

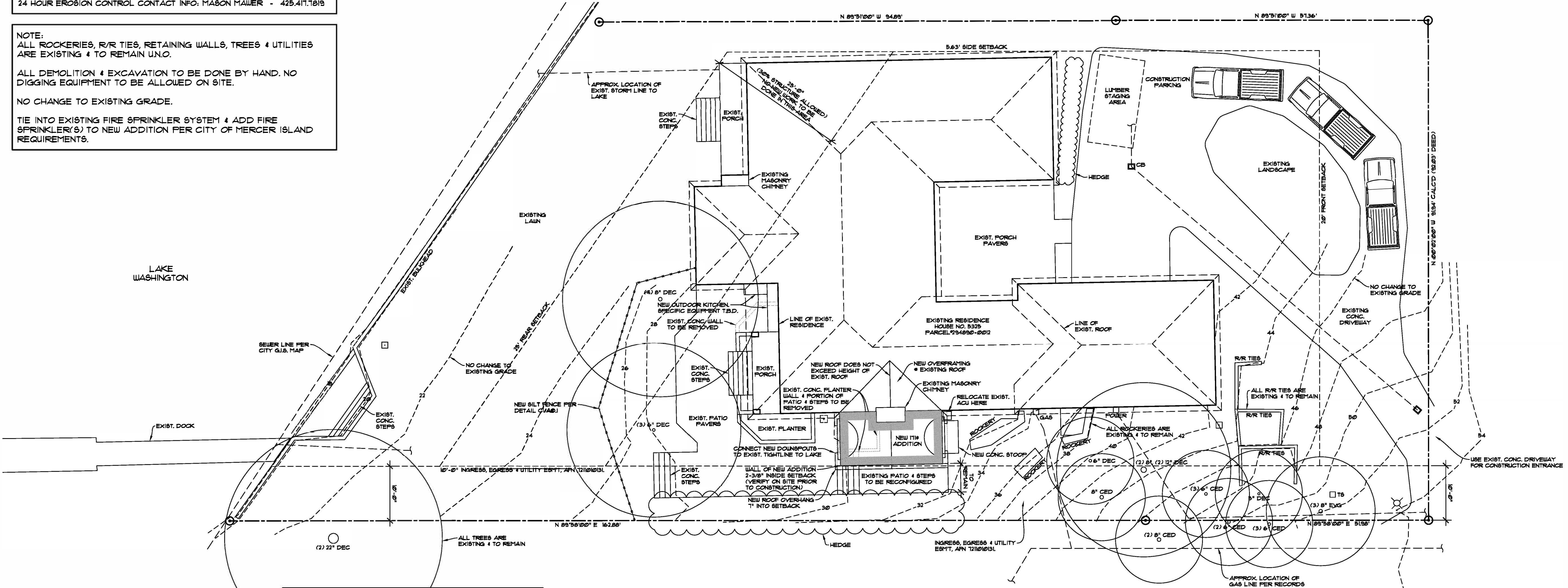
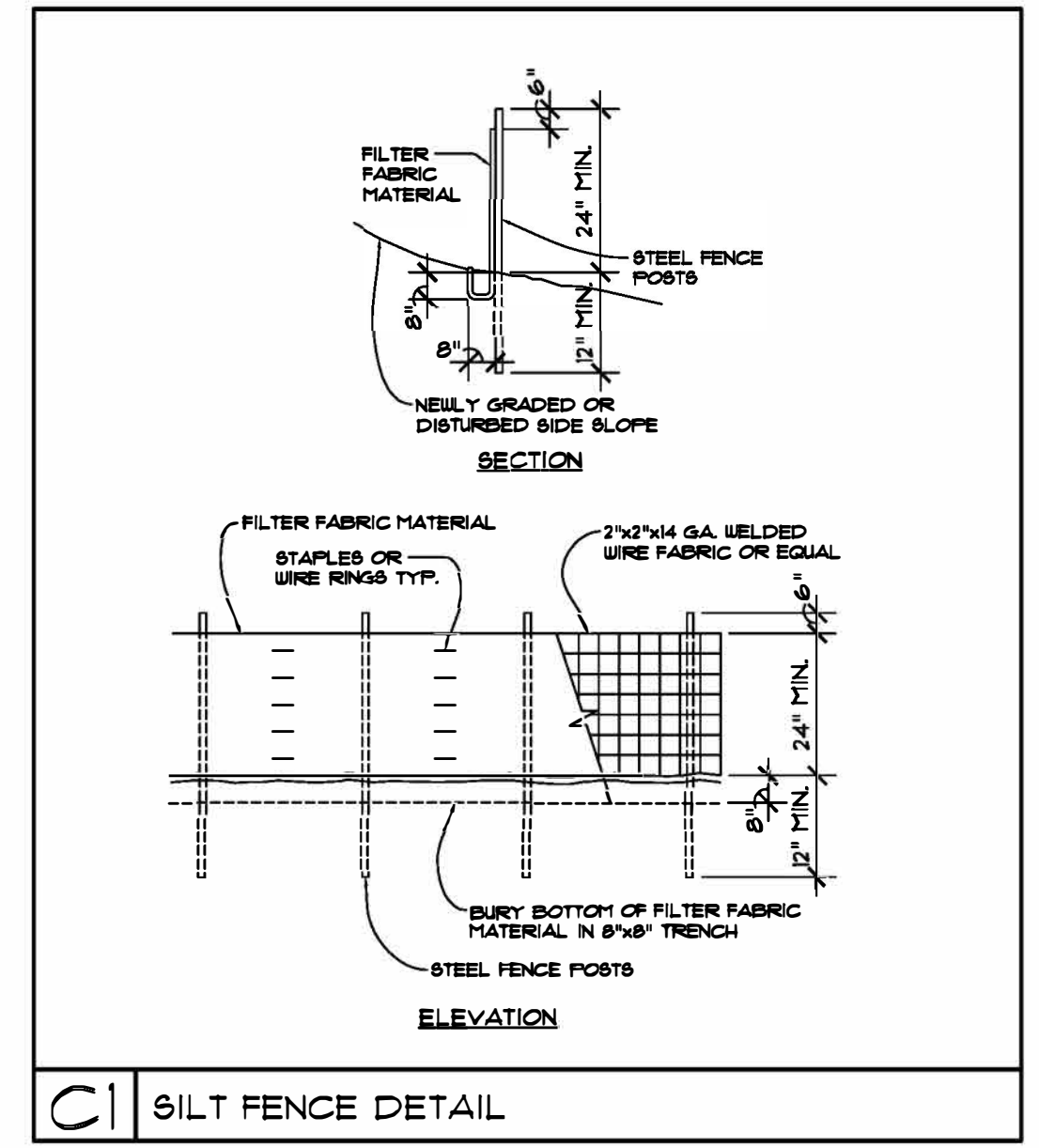
- CONSTRUCTION SEQUENCE:**
- HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
 - FLAG OR FENCE CLEARING LIMITS.
 - INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
 - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.)
 - CONSTRUCT SEDIMENT POND(S) AND/OR TRAP(S).
 - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - MAINTAIN TESC MEASURES IN ACCORDANCE WITH CITY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - RELOCATE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH THE CITY OF YARROW POINT TEMPORARY EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.
 - COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN TWO DAYS DURING THE WET SEASON (OCT. 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT. 30) WITH STRAW, WOOD FIVER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
 - STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
 - SEED OR SOO ANY AREAS TO REMAIN UN-WORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE TESC MEASURES IF APPROPRIATE.

PROVIDE STRAW OR PLASTIC COVER TO ANY EXPOSED SOILS THROUGH OUT THE CONSTRUCTION CYCLE.

24 HOUR EROSION CONTROL CONTACT INFO: MASON MAWER - 425.411.1819

NOTE:
ALL ROCKERIES, R/R TIES, RETAINING WALLS, TREES & UTILITIES ARE EXISTING & TO REMAIN UNO.
ALL DEMOLITION & EXCAVATION TO BE DONE BY HAND. NO DIGGING EQUIPMENT TO BE ALLOWED ON SITE.
NO CHANGE TO EXISTING GRADE.
TIE INTO EXISTING FIRE SFRINKLER SYSTEM & ADD FIRE SFRINKLER(S) TO NEW ADDITION PER CITY OF MERCER ISLAND REQUIREMENTS.

- STANDARD TESC PLAN NOTES:**
- APPROVAL OF THIS TEMPORARY EROSION AND SEDIMENTATION CONTROL (TESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD DRAINAGE DESIGN.
 - THE IMPLEMENTATION OF THESE TESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE TESC FACILITIES IS THE RESPONSIBILITY OF THE OWNER/AGENT AND/OR THEIR CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
 - THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE OWNER/AGENT AND/OR THEIR CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
 - THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
 - THE TESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE TESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT CHANGING SITE CONDITIONS (E.G. ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES, HAY BALES AND SILT FENCES, ETC.).
 - THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE OWNER/AGENT AND/OR THEIR CONTRACTOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE TESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).
 - ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON (OCT. 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT. 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED TESC METHODS (E.G. SEEDING, MULCHING, PLASTIC COVERING, ETC.).
 - ANY AREA NEEDING TESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN (5) DAYS.
 - THE TESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY-EIGHT (48) HOURS FOLLOWING A STORM EVENT.
 - AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO FINAL GRADING AND/OR PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSSTREAM SYSTEM.
 - STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS AND SEDIMENT TRAPS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
 - ANY PERMANENT FLOW CONTROL FACILITY USED AS TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY TEMPORARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY.
 - WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.
 - PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1) ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAIN. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. THE CITY CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.



OWNER: GIRISH NAIR & LISA WENDEL

ENGINEER: MDT ENGINEERING

ZONE: R1B

AREA: 17,854 sq ft (0.41 ACRES)

PARCEL NO.: 294890-0012

SETBACKS: FRONT-20', REAR-25', SIDE-5' MIN. TOTAL OF 17% OF LOT WIDTH

HEIGHT LIMIT: 30' ABOVE A.B.E.

GROSS FLOOR AREA: 40% (7,142 sq ft)

LOT COVERAGE: 40% (BUILDING & VEHICLE DRIVING SURFACE)

REQUIRED LANDSCAPE: 60% (LESS THAN 15% HARDSCAPE)

GROSS FLOOR AREA CALCULATIONS

SITE AREA	17,854 sq ft
ALLOWABLE FAR	40% (7,141 sq ft)
EXIST. MAIN FLOOR W/ GARAGE	3,828 sq ft
EXIST. UPPER FLOOR O/ GARAGE	5,071 sq ft
NEW MAIN FLOOR ADDITION	171 sq ft
TOTAL FLOOR AREA	4,526 sq ft
PROPOSED G.F.A.	4,526 sq ft (25.2%)

LOT COVERAGE CALCULATIONS

EXIST. LOT COVERAGE SURFACE:

MAIN STRUCTURE W/ OVERHANGS	4,372 sq ft
EXIST. DRIVING SURFACE	2,158 sq ft
OFFICE ADDITION W/ OVERHANGS	191 sq ft
TOTAL LOT COVERAGE	6,721 sq ft
LOT AREA	17,854 sq ft
PROPOSED LOT COVERAGE	6,716/17,854 = 37.6%
MAXIMUM LOT COVERAGE	7,142 (40%)

SIDE SETBACKS:

LOT IS WIDER THAN 30'.
SIDE SETBACKS TO BE 1% OF SITE WIDTH.
LOT IS 133'4" WIDE (133'4" + 133'4")
SIDE SETBACKS TO BE 1.33' TOTAL.

HARDSCAPE CALCULATIONS

HARDSCAPE SURFACE:

EXIST. PORCHES & PATIOS	1,285 sq ft
EXIST. ROCKERIES & R/R TIES	80 sq ft
TOTAL HARDSCAPE	1,365 sq ft
LOT AREA	17,854 sq ft
PROPOSED HARDSCAPE	1,365/17,854 = 7.6%
MAXIMUM HARDSCAPE	2.1% (376 sq ft)

LEGAL DESCRIPTION:

GROVELAND PARK ADD LOTS 13/4 & 15 BLK 2 LOTS 8 & 9 OF 4 LOTS 8 & 9 OF 13 & 15 LOTS 1 & 2 BLK 22 LOTS 8 & 9 OF 12 TOW ALL VAC 878 ADJ 1 TOW SH LOTS ADJ

PLAT BLOCK: 2 & 22

PLAT LOT: P098

SHEET INDEX:

A01 - SITE PLAN
A1 - FOUNDATION & MAIN FLOOR FRAMING PLAN
A2 - MAIN FLOOR DEMO PLAN
A3 - MAIN FLOOR PLAN
A4 - ROOF FRAMING PLAN
A5 - ENLARGED ROOF FRAMING PLAN (1/2" = 1'-0")
A6 - ELEVATIONS
A7 - SECTIONS & WINDOW/DOOR SCHEDULE



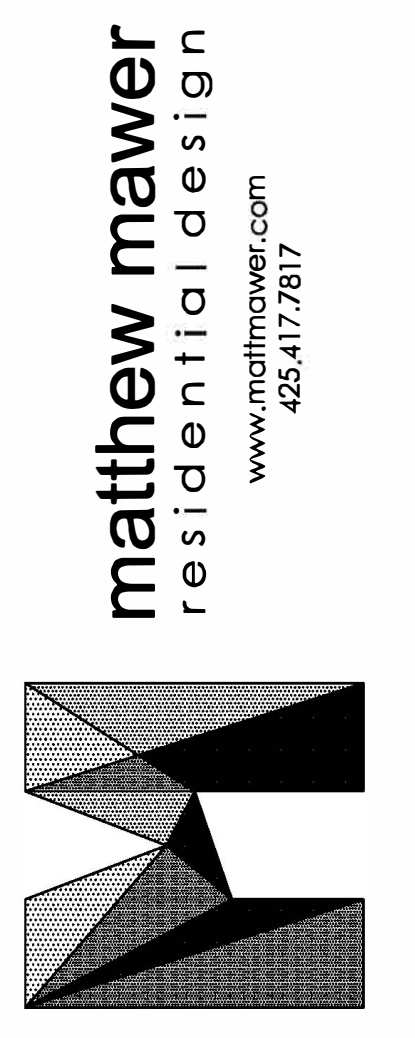
SITE PLAN

SCALE: 1" = 10'

SUBJECT PROPERTY TAX PARCEL NO. 294890-0012

5325 WEST MERCER WAY

MERCER ISLAND, WA 98040



NAIR-WENDEL

OFFICE ADDITION

5325 WEST MERCER WAY

MERCER ISLAND, WA 98040

JOB NO: 19-022

DATE: 8/04/20

DRWN. BY: MM

REVISED:

SHEET NO.

A0.1

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

LEGAL DESCRIPTION

THAT PORTION OF VACATED BLOCKS 2 AND 22, GROVELAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 8 OF PLATS PAGE 36, IN KING COUNTY, WASHINGTON, AND VACATED STREETS ADJOINING, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST LINE OF LOT 8 OF SAID BLOCK 2 WITH A LINE 190.00 FEET NORTH OF, AND PARALLEL TO, THE CENTERLINE OF BONNEY STREET AS SHOWN ON SAID PLAT;

THENCE SOUTH 89°59'39" WEST ALONG SAID PARALLEL LINE 187.50 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 00°00'21" WEST 92.03 FEET TO THE NORTH LINE OF VACATED BORDER STREET, AS SHOWN ON SAID PLAT;

THENCE NORTH 89°50'25" WEST ALONG SAID NORTH LINE TO THE GOVERNMENT MEANDER LINE;

THENCE SOUTHERLY ALONG SAID MEANDER LINE TO A POINT WHICH BEARS SOUTH 89°59'39" WEST FROM THE TRUE POINT OF BEGINNING;

THENCE NORTH 89°59'39" EAST TO THE TRUE POINT OF BEGINNING;

TOGETHER WITH THE SHORELANDS OF THE 2ND CLASS ADJOINING;

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER A STRIP OF LAND 10 FEET IN WIDTH, THE SOUTH LINE OF WHICH IS DESCRIBED AS FOLLOWS: THENCE NORTH 89°59'39" EAST TO THE WEST LINE OF LOT 8 IN SAID BLOCK 2;

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

THE WEST 30 FEET OF LOTS 8 AND 23 IN SAID BLOCK 2 AND THE NORTH 30 FEET OF THAT PORTION OF VACATED BONNY STREET LYING BETWEEN THE WEST LIFE OF SAID LOT 23, BLOCK 2, PRODUCED SOUTH AND THE WESTERLY LINE OF WEST MERCER WAY; AND, THAT PORTION OF VACATED ANDERSON AVENUE AND SAID BLOCK 2 WITHIN THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT A POINT ON THE SOUTHERLY MARGIN OF THE NORTH 30 FEET OF THE VACATED BONNEY STREET, 70 FEET WEST OF THE WESTERLY MARGIN OF WEST MERCER WAY; THENCE EAST ALONG SAID SOUTHERLY MARGIN TO THE WESTERLY MARGIN OF WEST MERCER WAY; THENCE NORTHERLY ALONG THE WEST MARGIN OF WEST MERCER WAY A DISTANCE OF 110 FEET; AND THENCE IN A STRAIGHT LINE TO THE POINT OF BEGINNING; EXCEPT THAT PORTION OF THE WEST 30 FEET OF SAID LOT 8, BLOCK 2, LYING NORTHERLY OF A LINE 200 FEET NORTH OF AND PARALLEL TO THE CENTERLINE OF VACATED BONNEY STREET IN SAID PLAT.

BASIS OF BEARINGS

N 89°58'00" E BETWEEN SURVEY MONUMENTS FOUND ON THE SOUTH LINE OF THE NORTH HALF OF VACATED BONNEY ST. AS SHOWN HEREON AND PER R1 & R2.

REFERENCES

- R1 SHORT PLAT M 79-03-09, RECORDED IN BOOK 23 OF SURVEYS, PAGE 100, RECORDS OF KING COUNTY, WASHINGTON.
- R2 UNRECORDED SURVEY BY M.W. MARSHALL LAND SURVEYING, JOB NO. 5028
- R3 SUN WEST ESTATES, RECORDED IN VOLUME 93 OF PLATS, PAGE 35, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD(88) PER GPS OBSERVATIONS.

SURVEYOR'S NOTES

- THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN FEBRUARY OF 2020. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
- SUBJECT PROPERTY TAX PARCEL NO. 294890-0012.
- THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY, ORDER NO. 1372482, WITH AN EFFECTIVE DATE OF JANUARY 15, 2019 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
- FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

SCHEDULE B ITEMS

- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
PURPOSE: WATER PIPELINE
AREA AFFECTED: THE SOUTHERLY 3 FEET OF SAID PREMISES
RECORDED: MARCH 28, 1955
RECORDING NUMBER: 4555320 (DOCUMENT UNREADABLE)

SAID INSTRUMENT HAS BEEN MODIFIED BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 7911260633. (PLOTTED)

SAID INSTRUMENT CONTAINS PROVISIONS FOR BEARING THE COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF THE WATER PIPELINE BY THE USERS.
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PUGET SOUND POWER & LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM
AREA AFFECTED: PORTION OF SAID PREMISES AND OTHER PROPERTY
RECORDED: DECEMBER 13, 1940
RECORDING NUMBER: 3138760 (EASEMENT DESCRIPTION INCOMPLETE)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: MERCER ISLAND SEWER DISTRICT
PURPOSE: SEWER PIPE LINE
AREA AFFECTED: A 10-FOOT STRIP OF LAND ACROSS SECOND CLASS SHORELANDS
RECORDED: MAY 20, 1965
RECORDING NUMBER: 5881465 (AS CONSTRUCTED, NOT PLOTTED)
- EASEMENT PROVISIONS DISCLOSED BY INSTRUMENT AND THE TERMS AND CONDITIONS THEREOF:
PURPOSE: INGRESS AND EGRESS
AFFECTS: SOUTH 30 FEET
RECORDED: NOVEMBER 1, 1972
RECORDING NUMBER: 7211010131 (PLOTTED)
- EASEMENT PROVISIONS DISCLOSED BY INSTRUMENT AND THE TERMS AND CONDITIONS THEREOF:
PURPOSE: SIDE SEWER
AFFECTS: PORTION OF SAID PREMISES
RECORDED: NOVEMBER 1, 1972
RECORDING NUMBER: 7211010131 (EASEMENT AREA NOT DESCRIBED)

THE DESCRIPTION CONTAINED THEREIN IS NOT SUFFICIENT TO DETERMINE ITS EXACT LOCATION WITHIN THE PROPERTY HEREIN DESCRIBED.

SAID INSTRUMENT AS BEEN MODIFIED BY INSTRUMENTS RECORDED UNDER RECORDING NUMBERS 7908310133 (ADDS BENEFICIARIES), 8003040184 (CLARIFIES TERMS & CONDITIONS OF EASEMENT), AND 8007140383 (DOCUMENT NOT PROVIDED).
- AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
BETWEEN: DONNA BOUILLON
AND: DOUGLAS DEFOREST AND DEBORAH DEFOREST
RECORDED: JULY 5, 1974
RECORDING NUMBER: 7407050502
REGARDING: DECLARATION OF EASEMENT FOR USE AND MAINTENANCE OF DOCK (DOCK EASEMENT TERMINATED)

SAID AGREEMENT HAS BEEN MODIFIED BY AGREEMENT FOR TERMINATION OF EASEMENT RECORDED UNDER RECORDING NUMBER 7802210778.
- DRIVEWAY EASEMENT AGREEMENT, INCLUDING THE TERMS AND PROVISIONS THEREOF:
RECORDED: AUGUST 28, 2003
RECORDING NUMBER: 20030828003801 (PLOTTED)

LEGEND

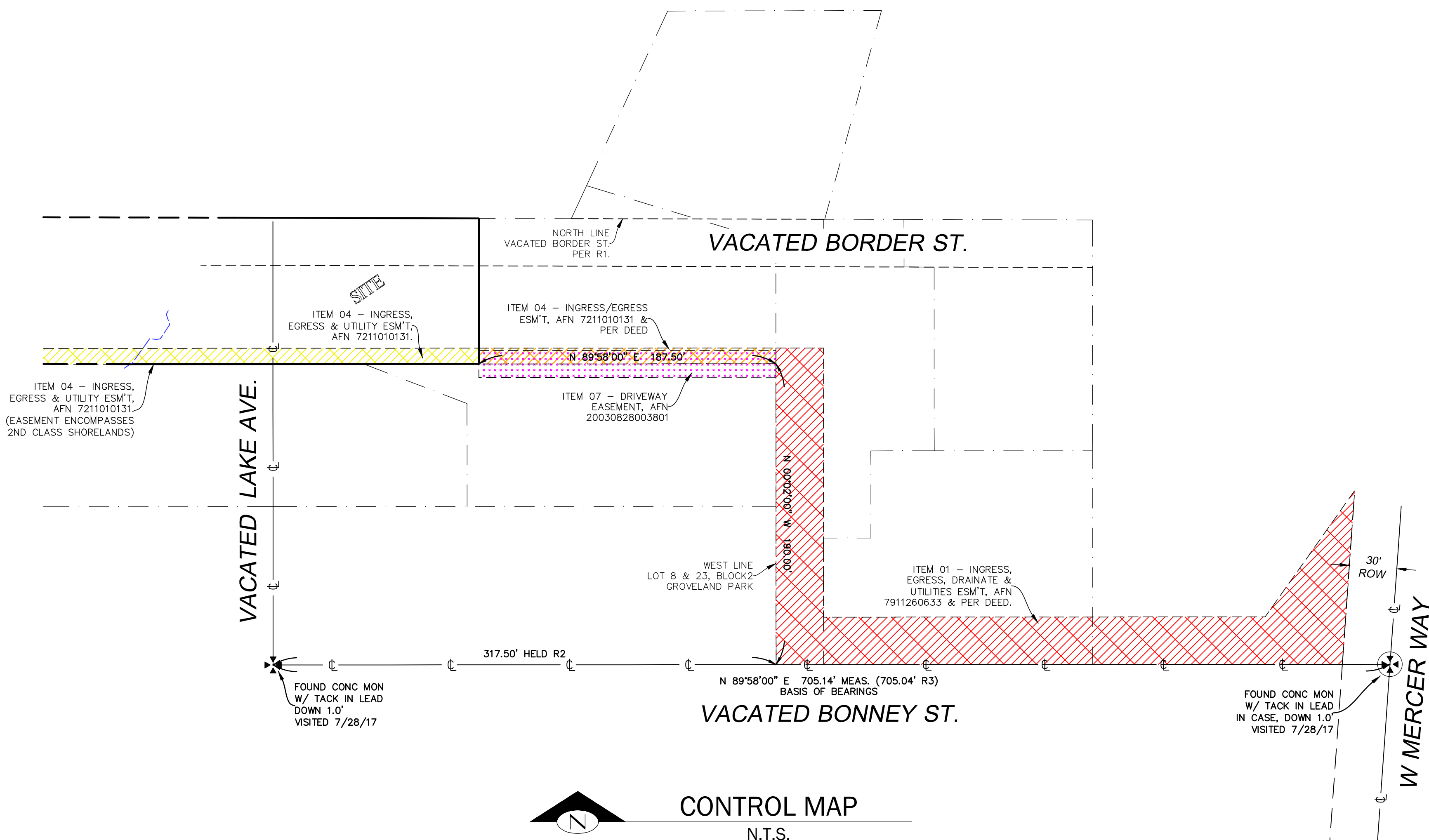
	FOUND CASED SURVEY MONUMENT		FENCE (CHAIN LINK)
	FOUND CONCRETE MONUMENT		GAS LINE
	FOUND IRON PIPE/REBAR & CAP AS NOTED		POWER LINE (UNDERGROUND)
	FOUND NAIL/SHINER		DRAINAGE LINE
	AIR CONDITIONING UNIT		BUILDING
	GAS METER		RETAINING WALL
	AREA DRAIN		ASPHALT SURFACE
	CATCH BASIN (TYPE 1)		CONCRETE SURFACE
	TELEPHONE SENTRY		DOCK
	TREE (TYPE, SIZE)		HEDGE
	YARD LIGHT		ROCKERY

EASEMENT LEGEND

	ITEM 04 - INGRESS/EGRESS ESM'T, AFN 7211010131.
	ITEM 01 - INGRESS, EGRESS, DRAINATE & UTILITIES ESM'T, AFN 7911260633.
	ITEM 04 - INGRESS, EGRESS & UTILITY ESM'T, AFN 7211010131.
	ITEM 07 - DRIVEWAY EASEMENT, AFN 20030828003801

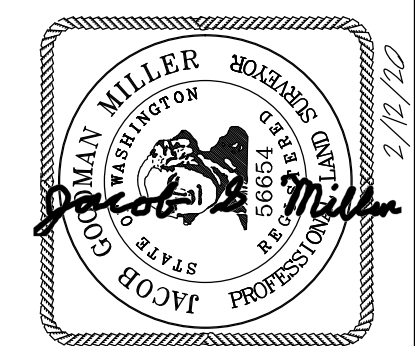
STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



TOPOGRAPHIC & BOUNDARY SURVEY
SE & SW 1/4 OF NE 1/4 SEC 24, TWP. 24N., RGE 04E., W.M.
PARCEL NO. 294890-0012

NAIR RESIDENCE
5325 W MERCER WAY
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

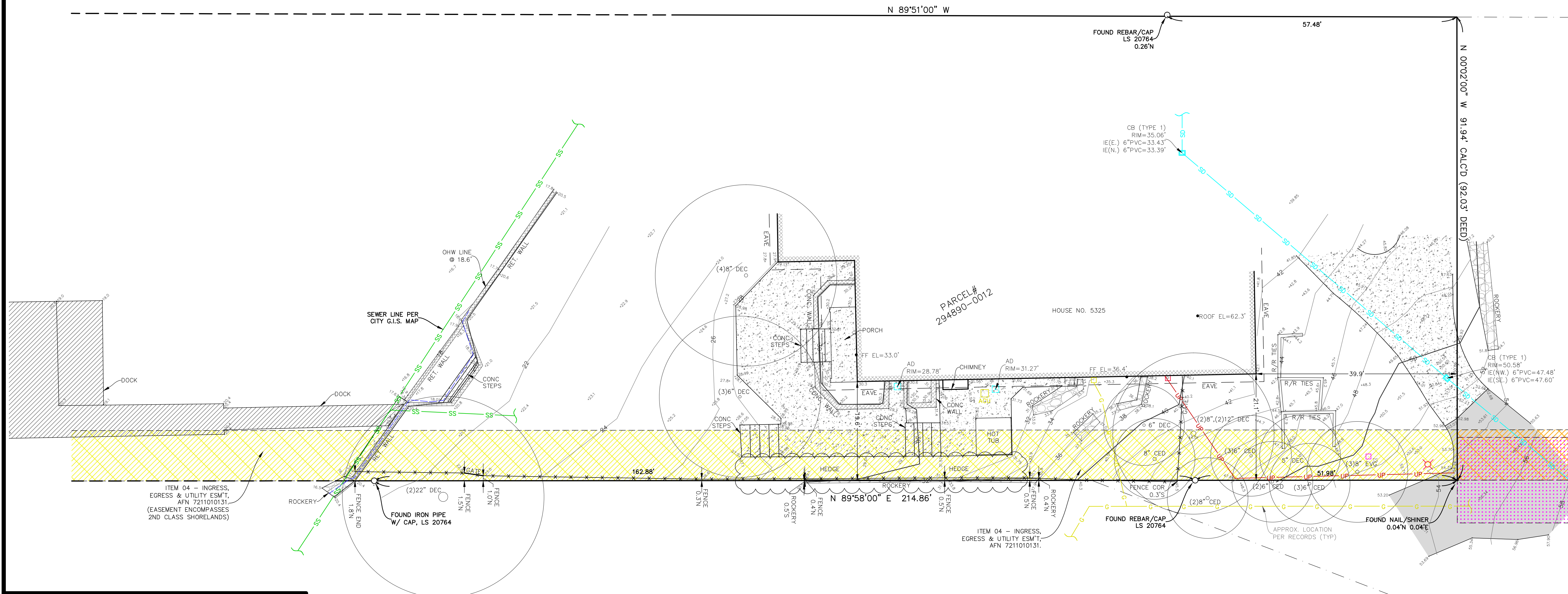
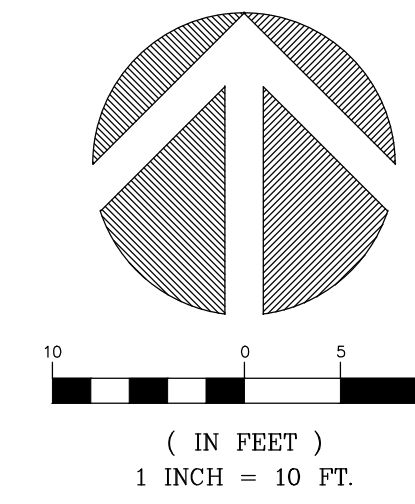
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DATE: 02/12/2020
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SCALE: 1" = 10'

REVISION HISTORY	

SHEET NUMBER
1 OF 2

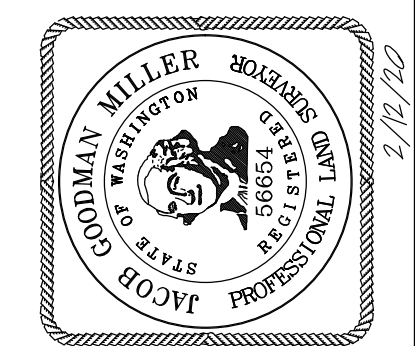


TOPOGRAPHIC & BOUNDARY SURVEY



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Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
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JOB NUMBER:	192242
DATE:	02/12/2020
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2 OF 2	

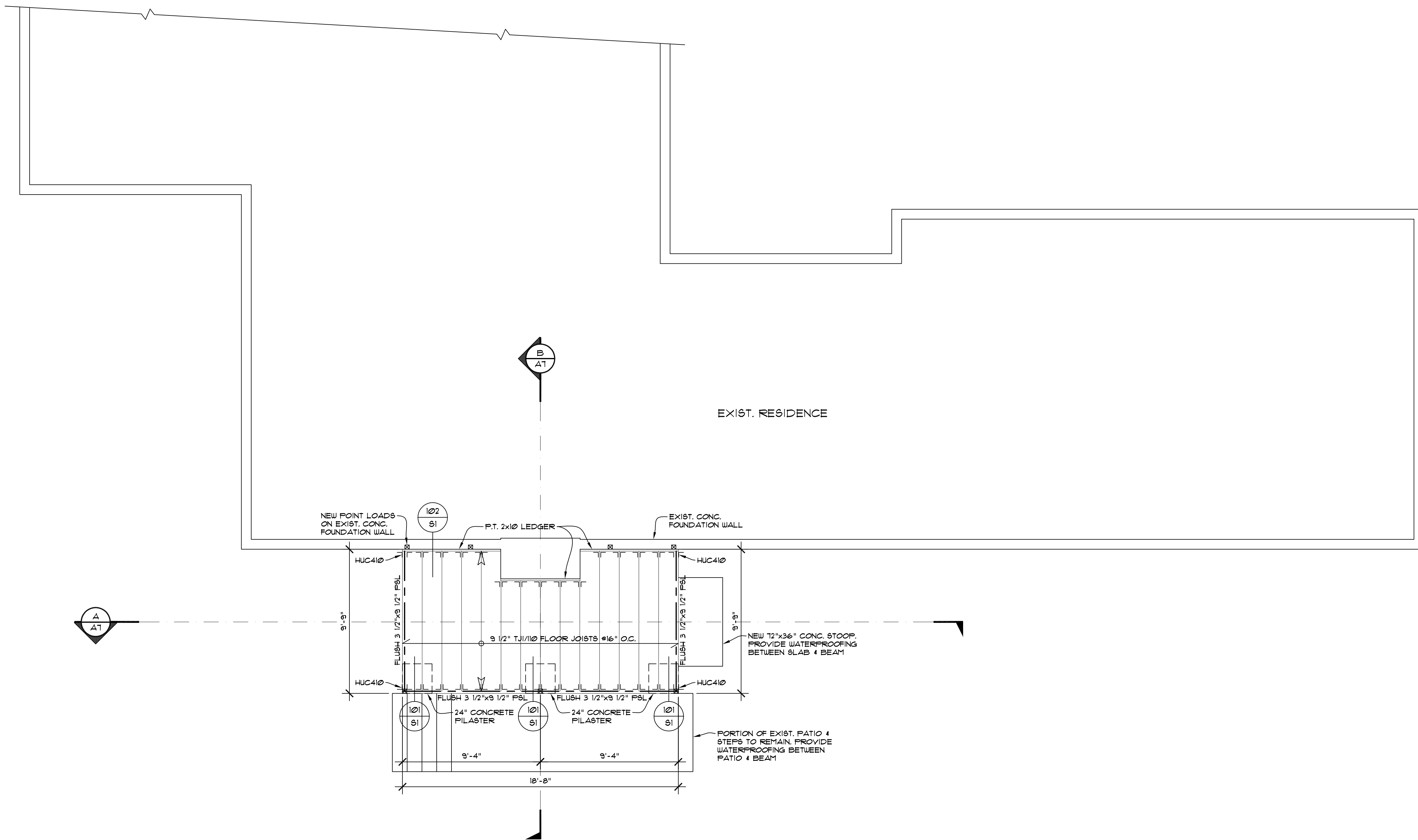
LEGEND

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| | GAS METER | | RETAINING WALL |
| | AREA DRAIN | | ASPHALT SURFACE |
| | CATCH BASIN (TYPE 1) | | CONCRETE SURFACE |
| | TELEPHONE SENTRY | | DOCK |
| | TREE (TYPE, SIZE) | | HEDGE |
| | YARD LIGHT | | ROCKERY |

EASEMENT LEGEND

- | | |
|--|--|
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| | ITEM 01 - INGRESS, EGRESS, DRAINATE & UTILITIES ESM'T, AFN 7911260633. |
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| | ITEM 07 - DRIVEWAY EASEMENT, AFN 20030826003801 |

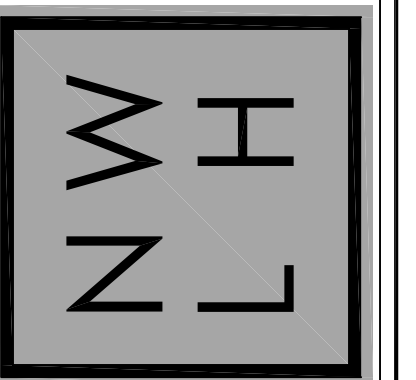
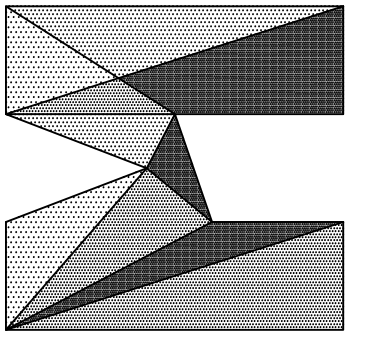
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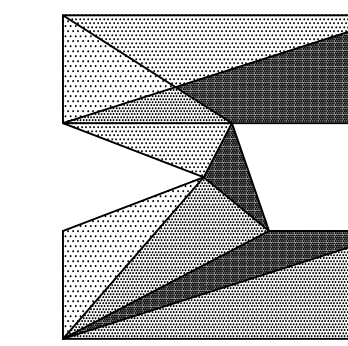


FOUNDATION & MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1' - 0"

NOTE:
SEE SHEET S2 FOR FOOTING SCHEDULE





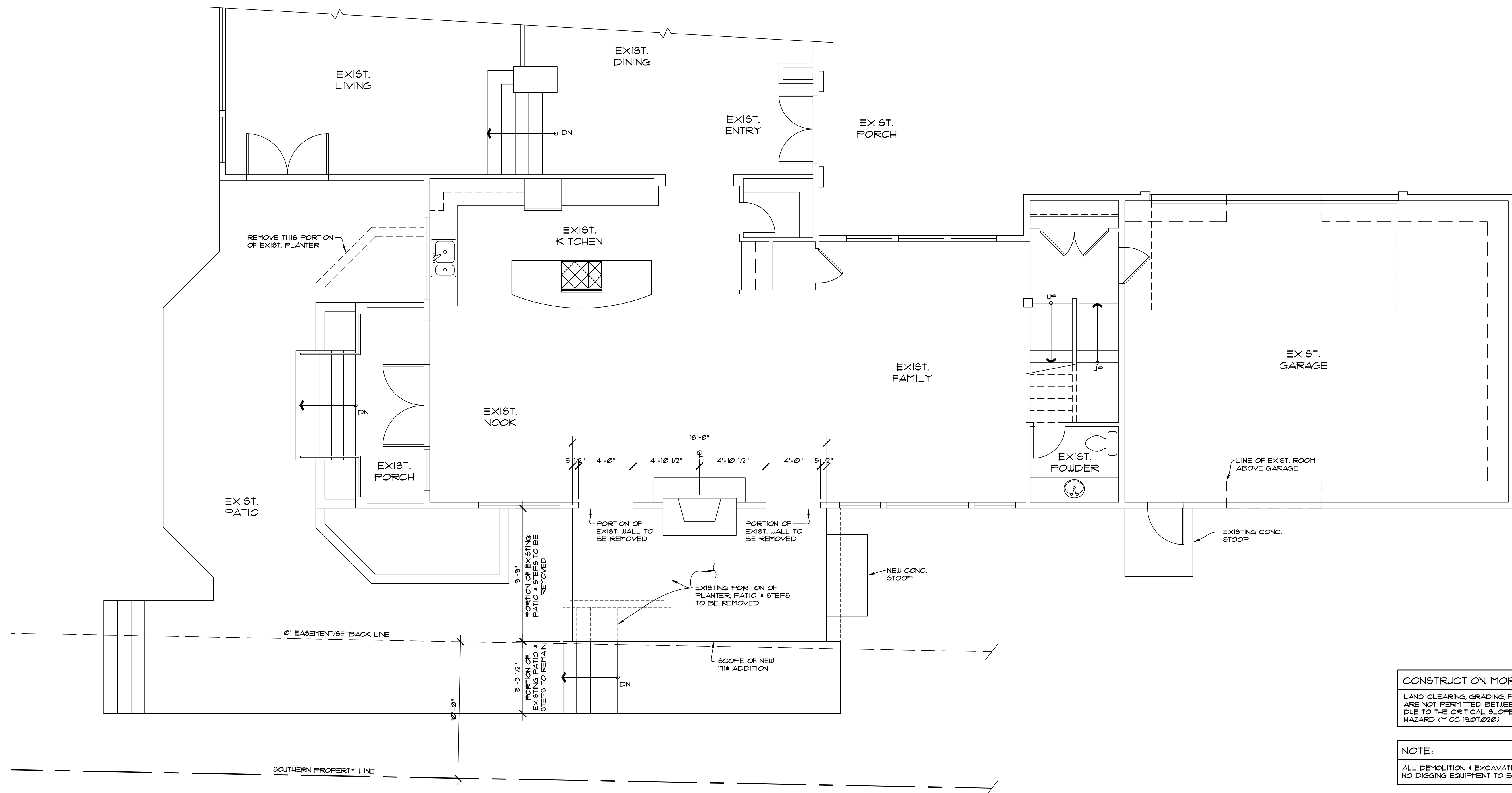
nw lifestyle homes
www.nwlifestylehomes.com

N W L H

NAIR-WENDEL
OFFICE ADDITION
5325 WEST MERCER WAY
MERCER ISLAND, WA 98040

JOB NO: 19-022
DATE: 8/04/20
DRN. BY: MM
REVISED:

SHEET NO.
A2



CONSTRUCTION MORATORIUM APPLIES
LAND CLEARING, GRADING, FILLING & FOUNDATION WORK ARE NOT PERMITTED BETWEEN OCTOBER 1st & APRIL 1st DUE TO THE CRITICAL SLOPES OR GEOLOGICAL HAZARD (MICC 19.01.020)

NOTE:
ALL DEMOLITION & EXCAVATION TO BE DONE BY HAND. NO DIGGING EQUIPMENT TO BE ALLOWED ON SITE.

WALL LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALLS

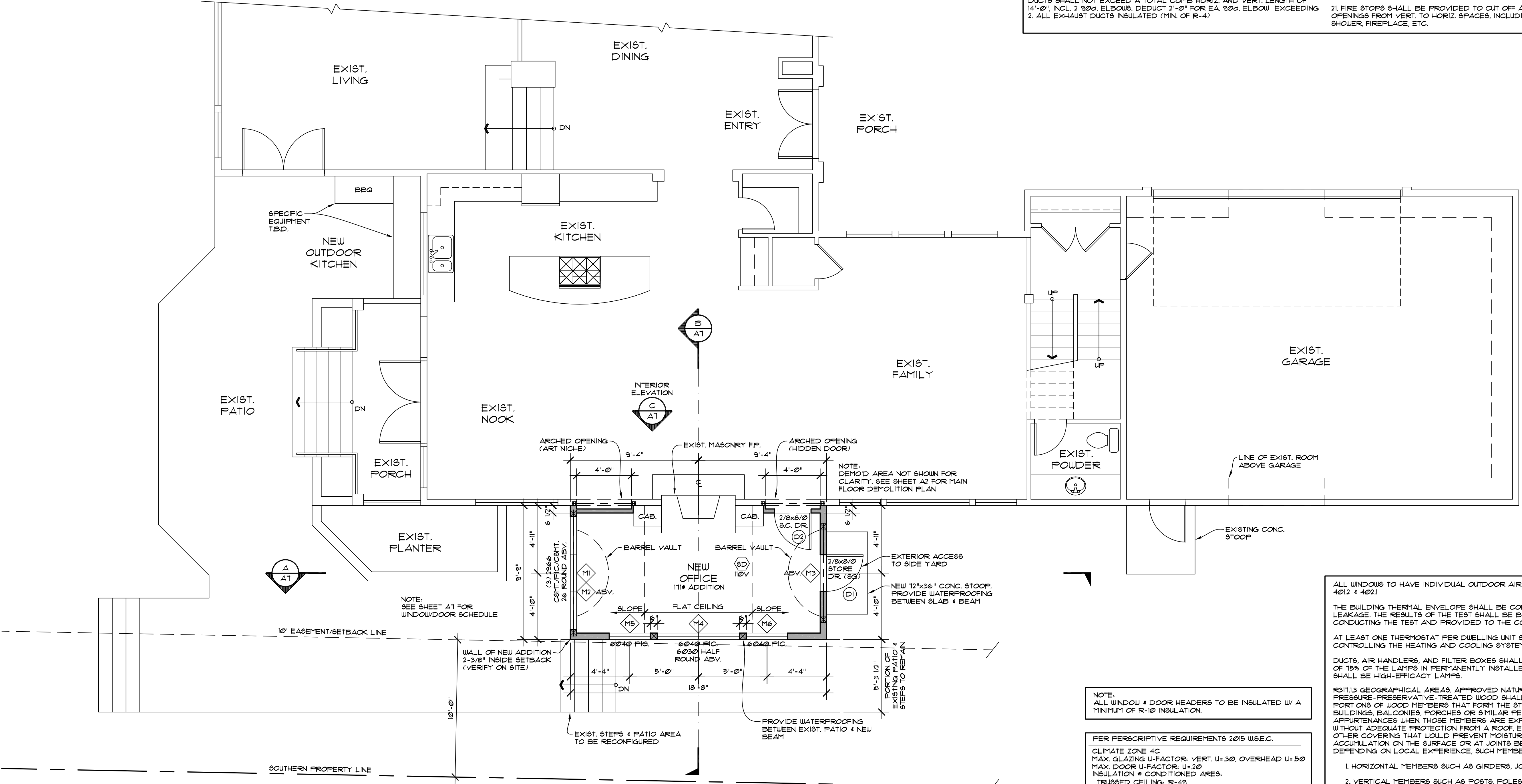
MAIN FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1' - 0"

NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.

SQUARE FOOTAGE SUMMARY	
EXIST. MAIN FLOOR	3,138 SQ. FT.
EXIST. UPPER FLOOR	501 SQ. FT.
EXIST. TOTAL HEATED	3,645 SQ. FT.
NEW OFFICE ADDITION	171 SQ. FT.
TOTAL HEATED	3,816 SQ. FT.
EXIST. GARAGE	690 SQ. FT.

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALLS

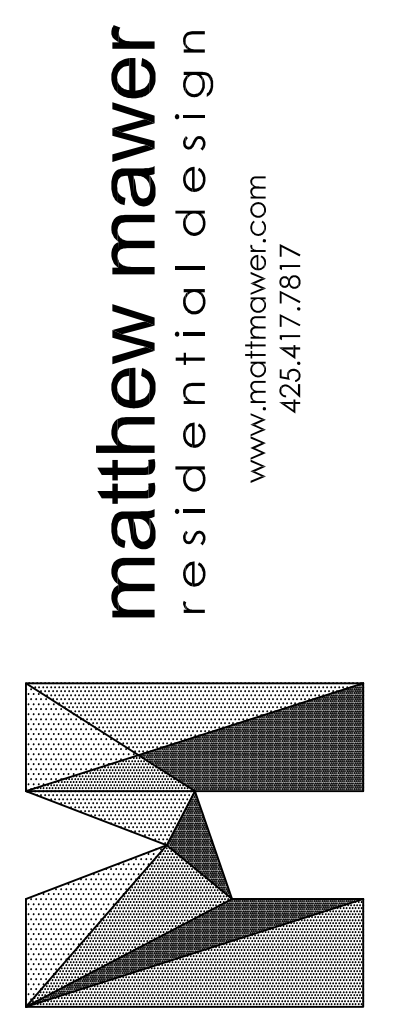
- GENERAL NOTES:**
- ALL FLOOR JOISTS PER PLAN. REFER TO MFG. LAYOUT FOR ALL FRAMING DETAILS AND BLOCKING. REVIEW MFG. LAYOUT PRIOR TO FRAMING. DOUBLE UNDER BEARING PARTITIONS. PROVIDE SOLID BLOCKING OVER BEARING MEMBERS.
 - ALL PRE-MANUFACTURED TRUSSES TO BE IDENTIFIED BY MFG'S STAMP.
 - FACTORY BUILT FIREPLACE & CHIMNEY TO BE UL LABELED INSTALL PER MANUFACTURER'S SPECS. 0/SIDE COMBUSTION AIR REQ'D (MIN 6 SQ IN) DUCTED TO R/BOX W/ OPERABLE 0/SIDE DAMPER. TIGHTLY FITTING FLUE DAMPER, AND TIGHT FITTING GLASS OR METAL DOORS OR FLUE DRAFT INDUCTION FAN.
 - LIMIT SHOWER FLOW TO 2.5 GALLON/MIN.
 - H.W.T. TO BE LABELED PER ASHRAE STD. NO. 90A-20, AND MEET THE REQUIREMENTS, PER 1991 NATIONAL APPLIANCE ENERGY CONSERVATION ACT.
 - FURNACE AND H.W. TANK, PILOTS, BURNERS, HEATING ELEMENTS, AND SWITCHES TO BE A MIN. OF 18" ABOVE FINISHED FLOOR.
 - ALL SKYLITES TO COMPLY WITH I.R.C. SECTION 2409.1 & 2603.1
 - ALL SIDELITES, SLIDING GLASS DOORS AND TUB/SHOWER ENCLOSURES TO COMPLY WITH I.B.C. SECTION 2406.
 - HEAT REGISTERS TO BE PER LEGEND. LOCATE APPROXIMATELY AS SHOWN, 6" IN FROM EXTERIOR WALLS, 3" IN FROM INTERIOR WALLS.
 - VENT DRYER, OVEN/RANGE & EXHAUST FANS TO 0/SIDE. DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMB. HORIZ. AND VERT. LENGTH OF 14'-0", INCL. 2 90° ELBOWS. DEDUCT 2'-0" FOR EA. 90° ELBOW EXCEEDING 2'. ALL EXHAUST DUCTS INSULATED (MIN. OF R-4).
 - ALL NAILING PER IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.9.1. COLUMN, POST & BEAM CONNECTIONS TO COMPLY WITH I.B.C. SECTION 2316.
 - SOLID 8HT'G REQ'D ON LOWER STORY OF 2 STORY BUILDING PER I.B.C. DRYWALL NAILED PER SHEAR NAILING SCHEDULES OR IBC 2018 EDITION.
 - TUB/SHOWER SURROUND WALLS TO HAVE WATER RESISTANT GYP BOARD AND A SMOOTH HARD SURFACE TO A MINIMUM HEIGHT OF 10' ABOVE DRAIN INLET.
 - PROVIDE SMOKE DETECTOR IN COMPLIANCE WITH I.B.C. AND I.B.C. 8TD. #3.6. ALL SMOKE DETECTORS W/BAT BACKUP. SMOKE DETECTORS WILL SOUND AN AUDIBLE ALARM IN ALL SLEEPING ROOMS.
 - DUELLING TO COMPLY W/ 2018 IECC.
 - SEAL, CAULK, GASKET, OR WEATHERSTRIP TO LIMIT AIR LEAKAGE. AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALL AND ROOF AND WALL PANELS, OPENINGS AT UTILITY PENETRATIONS THROUGH WALLS, FLOORS, AND ROOFS, ALL OTHER OPENINGS IN BUILDING ENVELOPE.
 - ALL EXTERIOR DOORS OR ACCESS HATCHES TO ENCLOSED UNHEATED AREAS MUST BE WEATHERSTRIPPED.
 - MINIMUM SOIL BEARING PRESSURE = 2000 PSF OR PER STRUCTURAL ENGINEERING.
 - FOOTINGS TO BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL.
 - DUELLING TO COMPLY WITH 2018 INTERNATIONAL BUILDING CODE (I.B.C.)
 - FIRE STOPS SHALL BE PROVIDED TO CUT OFF ALL CONCLID DRAFT OPENINGS FROM VERT. TO HORIZ. SPACES, INCLUDING THE STAIR, TUB, SHOWER, FIREPLACE, ETC.



MAIN FLOOR PLAN
SCALE: 1/4" = 1' - 0"

- NOTE: ALL WINDOW & DOOR HEADERS TO BE INSULATED W/ A MINIMUM OF R-10 INSULATION.
- PER PERSCRIPTIVE REQUIREMENTS 2018 W.S.E.C.
- CLIMATE ZONE 4C
MAX. GLAZING U-FACTOR: VERT. U+30, OVERHEAD U+50
MAX. DOOR U-FACTOR: U+20
INSULATION # CONDITIONED AREAS:
TRUSSED CEILING: R-49
VAULTED & SINGLE RAFTER CEILING: R-38 (R402.2.2)
ABOVE GRADE WALLS: R-21
BELOW GRADE WALLS: R-21
FLOOR OVER VENTED CRAWL SPACE: R-30
SLAB ON GRADE: R-10 # PERIMETER
- NOTE: INDICATES HARD WIRED SMOKE DETECTOR WITH BATTERY BACKUP

- ALL WINDOWS TO HAVE INDIVIDUAL OUTDOOR AIR INLET PORTS PER IMC 4012 & 4021.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE RESULTS OF THE TEST SHALL BE BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL (R402.4.12).
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.
- DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. A MINIMUM OF 15% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- R311.3 GEOGRAPHICAL AREAS: APPROVED NATURALLY DURABLE OR PRESURE-PRESERVATIVE-TREATED WOOD SHALL BE USED FOR THOSE PORTIONS OF WOOD MEMBERS THAT FORM THE STRUCTURAL SUPPORTS OF BUILDINGS, BALCONIES, PORCHES OR SIMILAR PERMANENT BUILDING APPURTENANCES WHEN THOSE MEMBERS ARE EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS, DEPENDING ON LOCAL EXPERIENCE. SUCH MEMBERS MAY INCLUDE:
- HORIZONTAL MEMBERS SUCH AS GIRDERS, JOISTS AND DECKING.
 - VERTICAL MEMBERS SUCH AS POSTS, POLES AND COLUMNS.
 - BOTH HORIZONTAL AND VERTICAL MEMBERS.
- R309.1 STAIRWAY ILLUMINATION
ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE (1 LUX) MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY.



nw lifestyle homes
www.nwlifestylehomes.com

N W L H

NAIR-WENDEL
OFFICE ADDITION
5325 WEST MERCER WAY
MERCER ISLAND, WA 98040

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SHEET NO.
A3

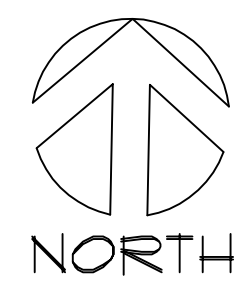
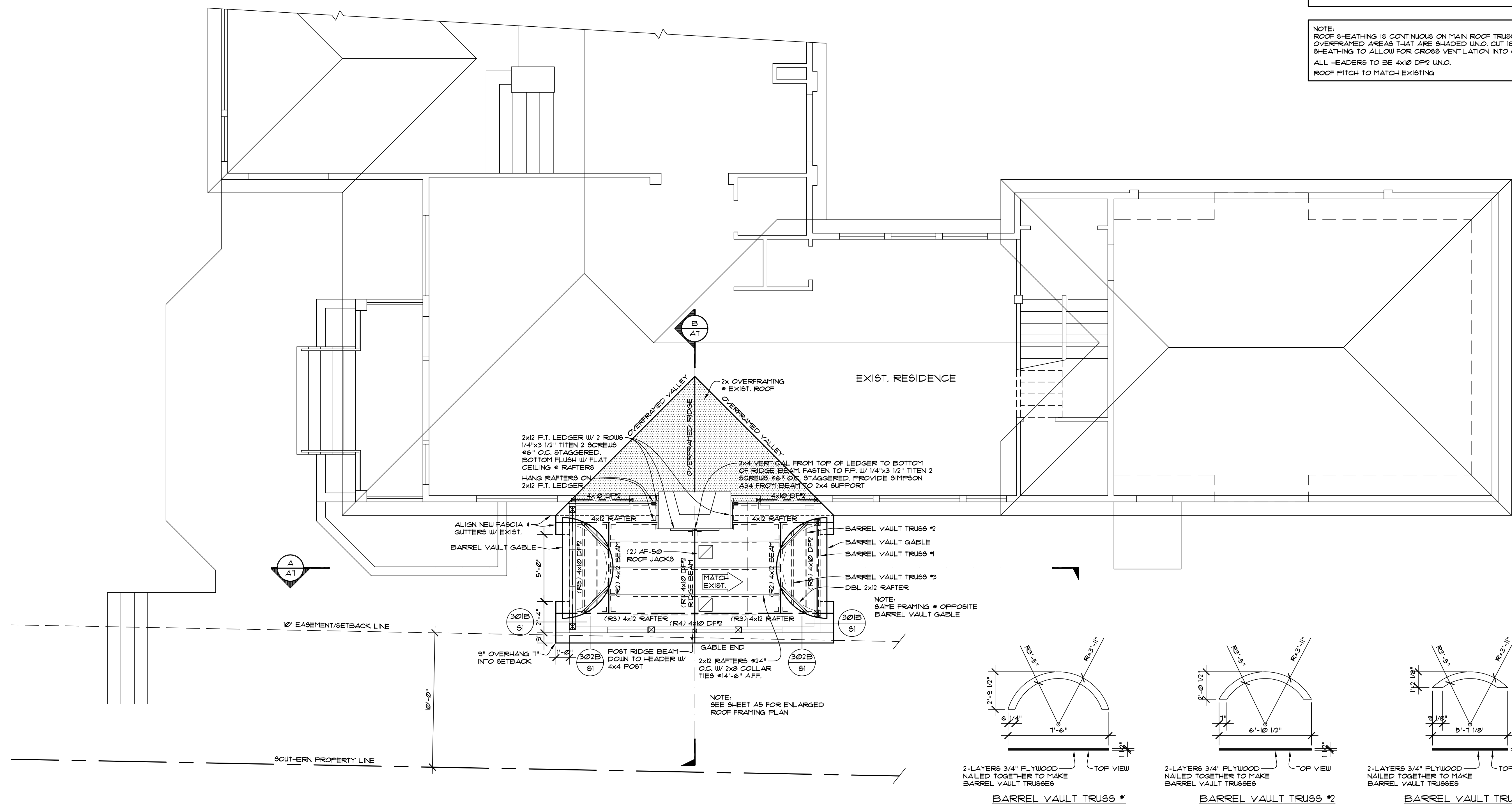
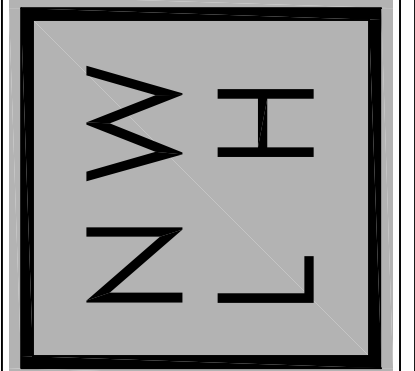
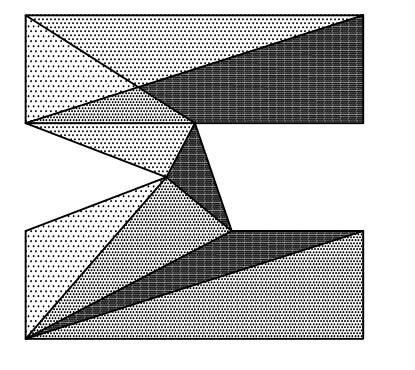
ROOF VENTILATION CALCULATIONS

TOTAL VENTILATION REQUIRED $\frac{1716}{300} = 0.57$ SF. NET FREE
 EAVE VENTILATION = 5 L.F. x 3.3 SQ. IN./L.F. = 0.11 SF.
 (PROVIDE EAVE VENT BLOCKING @ EVERY BAY)
 MIN. 50% BY VENTILATION ABOVE EAVE = 0.51 x 0.5 = 0.29 SF.
 (2) AF-B0 ROOF JACK YIELD 0.1 SF. (3.5 SF. NET FREE EACH)
 TOTAL VENTILATION PROVIDED:
 EAVE VENTILATION = 0.11 SF.
 ABOVE EAVE VENTILATION = 0.1 SF.
 TOTAL VENTILATION REQUIRED = 0.81 SF.
 TOTAL VENTILATION PROVIDED = 0.51 SF.

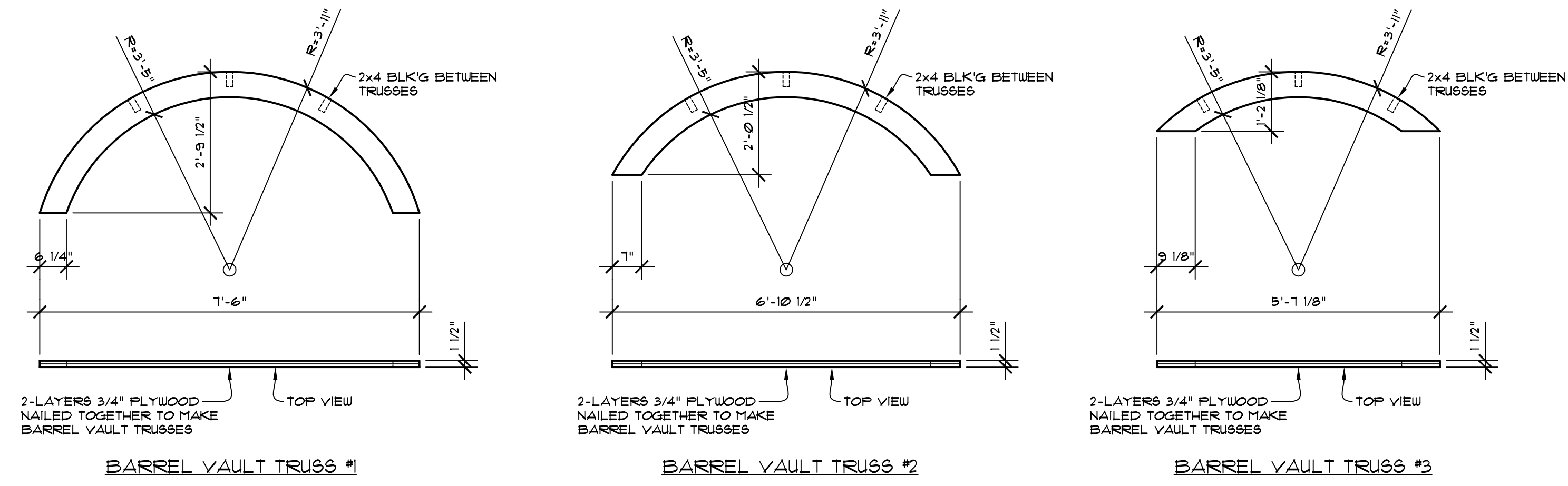
ALL TRUSSES:
 -SHALL CARRY MANUFACTURERS STAMP
 -SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS
 -WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPARTMENT APPROVAL OF ENGINEERING CALCULATIONS -SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION

HATCHING DENOTES 2x OVERFRAMING

NOTE:
 ROOF SHEATHING IS CONTINUOUS ON MAIN ROOF TRUSSES EXTENDING UNDER OVERFRAMED AREAS THAT ARE SHADED UNO CUT 18"x18" HOLES IN SHEATHING TO ALLOW FOR CROSS VENTILATION INTO OVERFRAMED AREAS. ALL HEADERS TO BE 4x10 DFP UNO. ROOF PITCH TO MATCH EXISTING



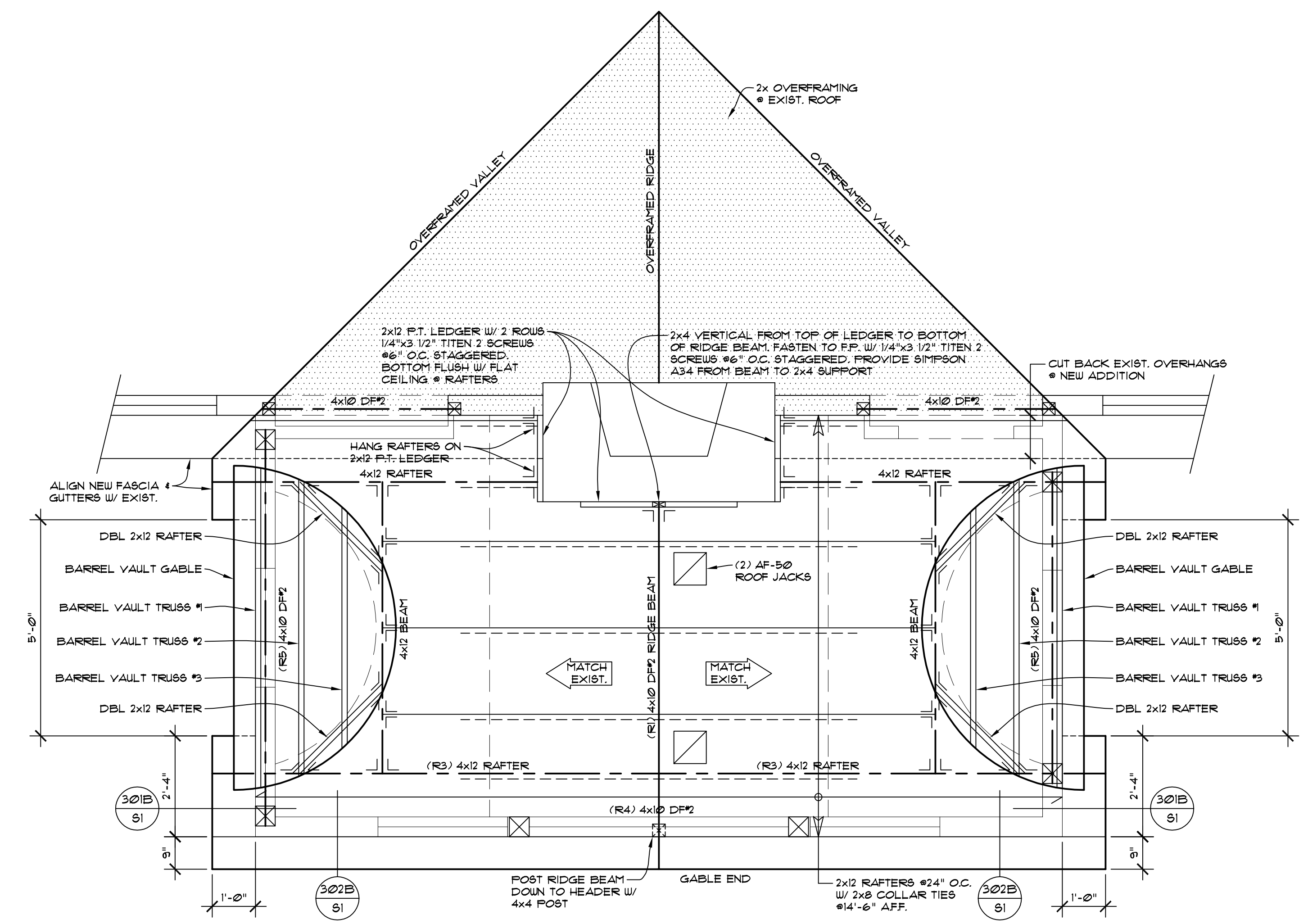
ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"



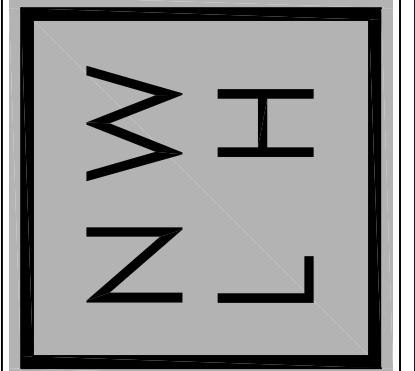
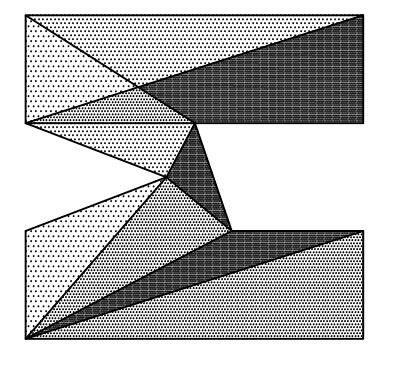
BARREL VAULT TRUSS #1

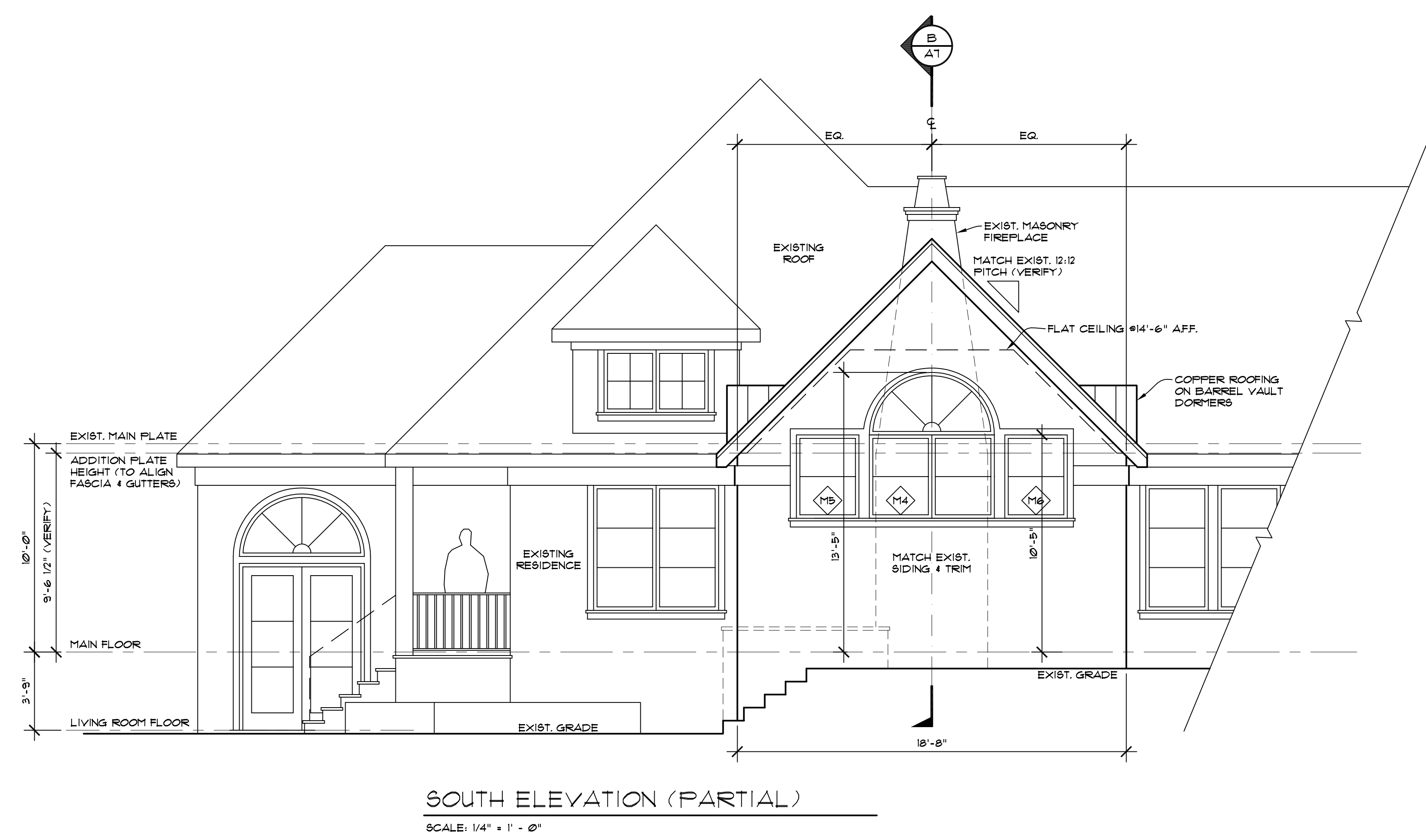
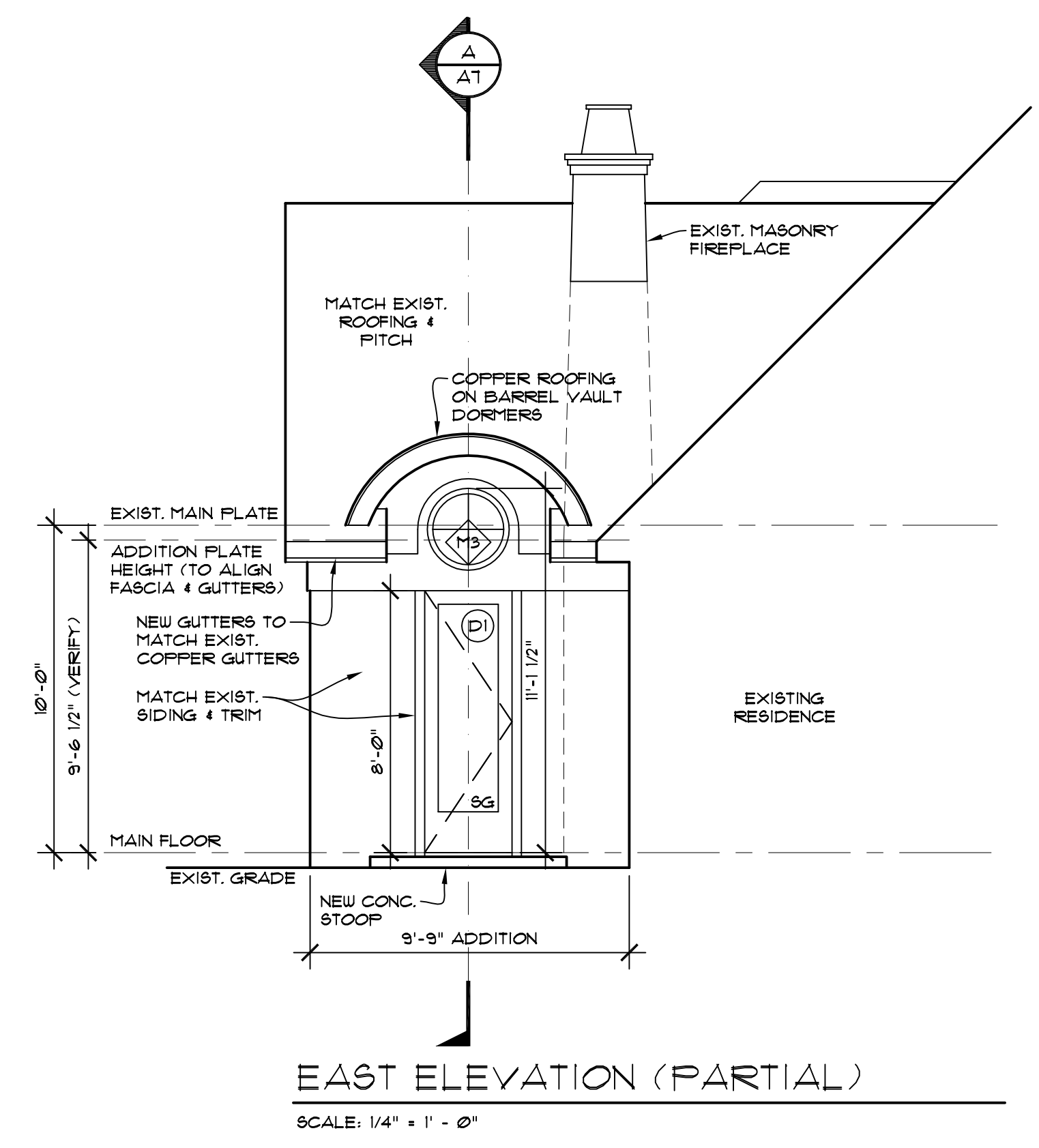
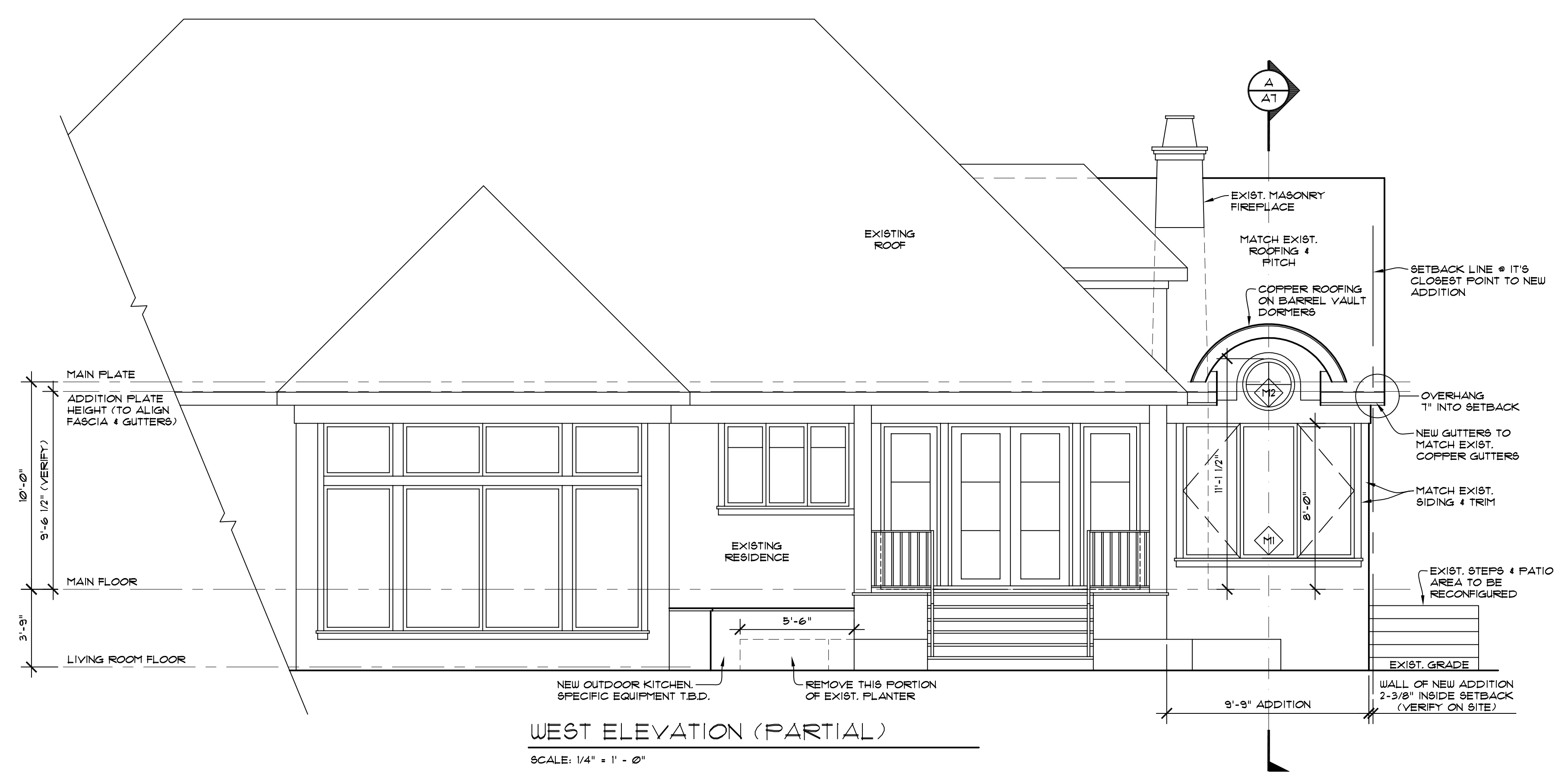
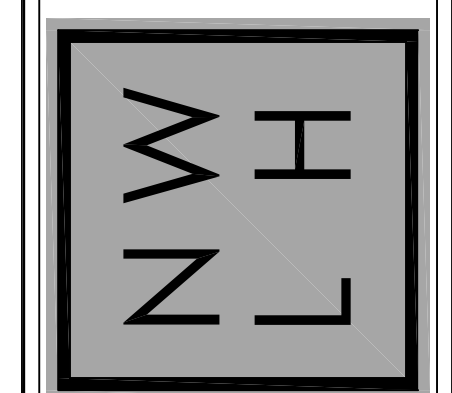
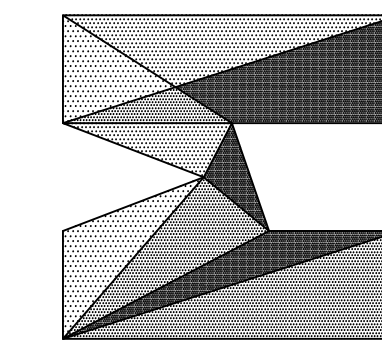
BARREL VAULT TRUSS #2

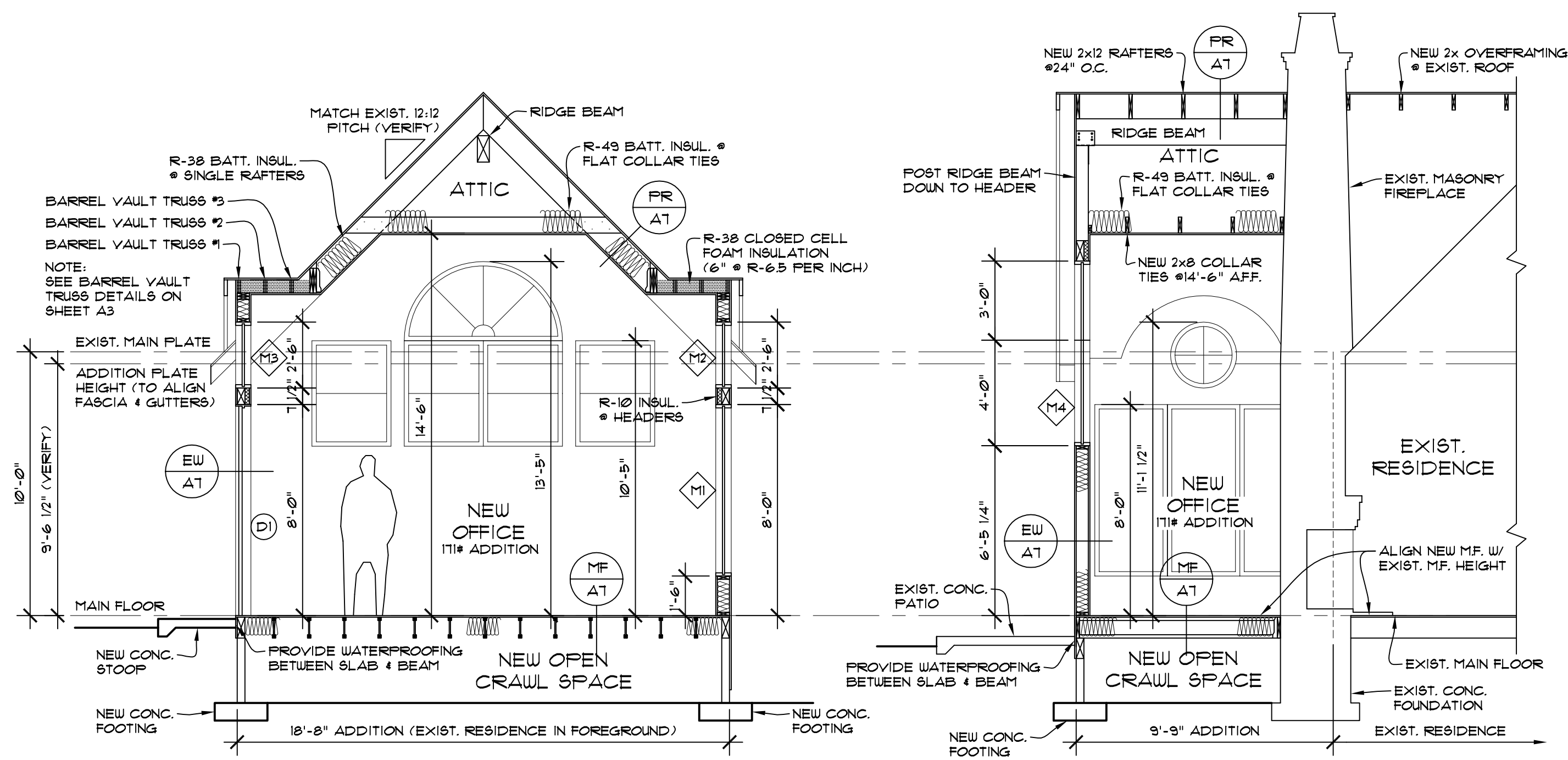
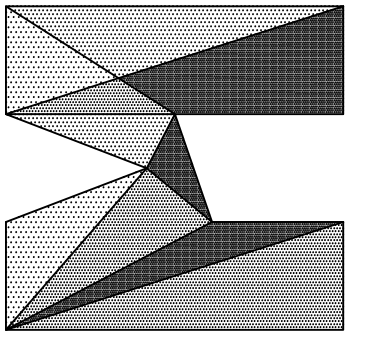
BARREL VAULT TRUSS #3



ENLARGED ROOF FRAMING PLAN
SCALE: 1/2" = 1' - 0"





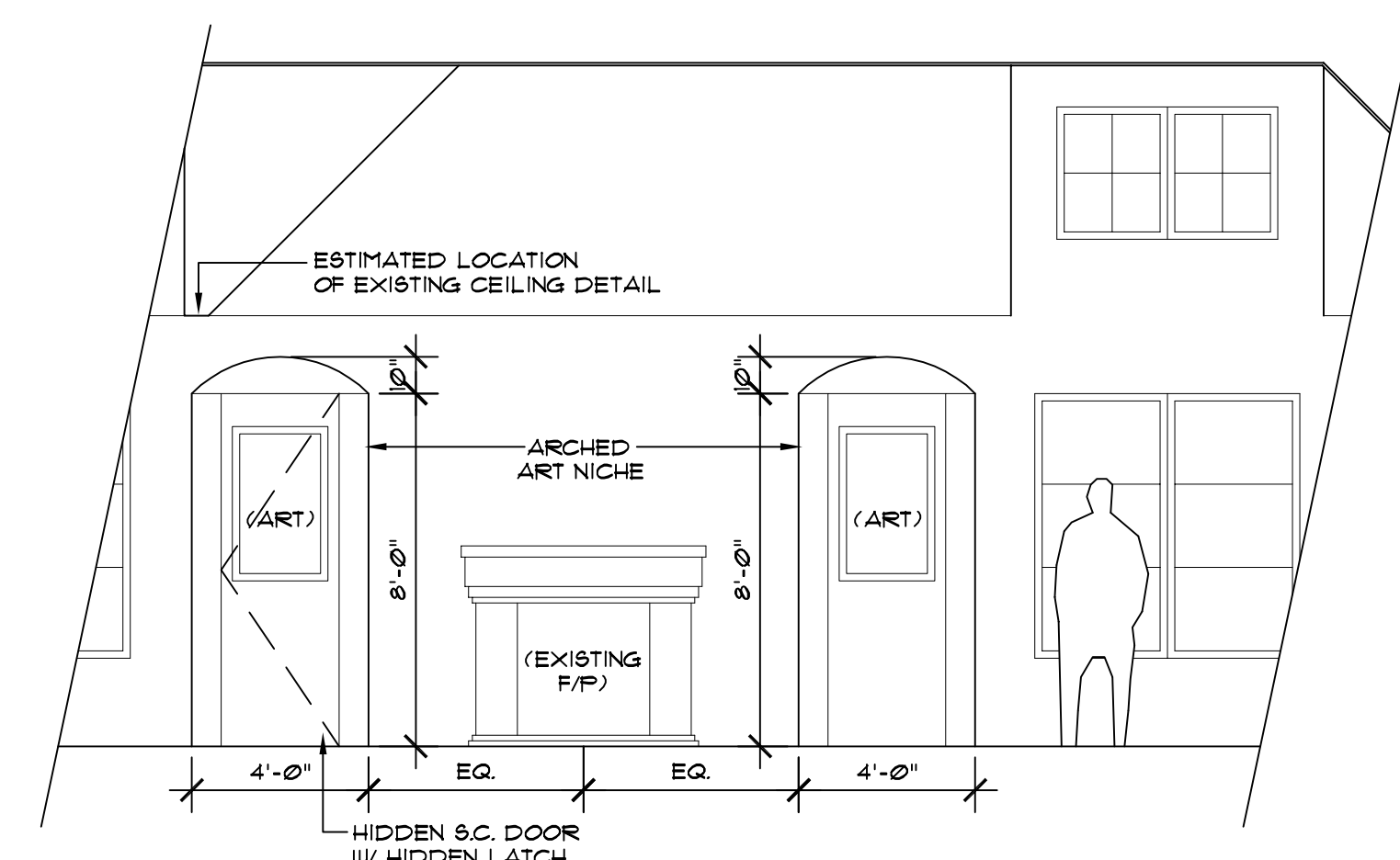


SECTION 'A'
SCALE: 1/4" = 1' - 0"

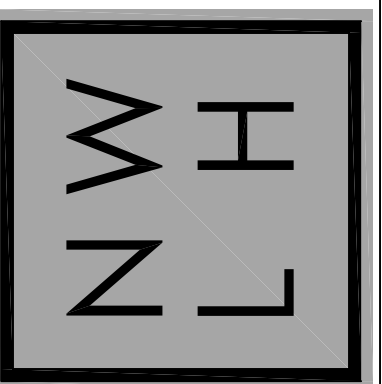
SECTION 'B'
SCALE: 1/4" = 1' - 0"

FR AT	PITCHED ROOF MATCH EXIST. ROOFING 30# BUILDING PAPER OSB ROOF SHEATHING 2x RAFTERS PER PLAN R-38 INSULATION @ SINGLE RAFTER ROOF R-49 INSULATION @ FLAT COLLAR TIES 4 MIL UV. POLY. 5/8" GUB
EW AT	EXTERIOR WALL 1/2" GUB. 4 MIL UV RES. POLY. 2x6 STUDS @ 16" O.C. R-21 BATT INSULATION SHEATHING PER SHEAR WALL SCHED. BUILDING PAPER SIDING PER ELEVATIONS
MF AT	MAIN FLOOR FINISH FLOOR 3/4" TAG FLTWOOD SUB-FLR (GLUE & NAIL) FLOOR JOISTS PER PLAN R-30 BATT. INSULATION

WINDOW SCHEDULE		DOOR SCHEDULE	
M1		D1	
M2, M3		D2	
M4			
M5, M6			



INT. ELEVATION 'C'
SCALE: 1/4" = 1' - 0"



NAIR-WENDEL
OFFICE ADDITION
5325 WEST MERCER WAY
MERCER ISLAND, WA 98040

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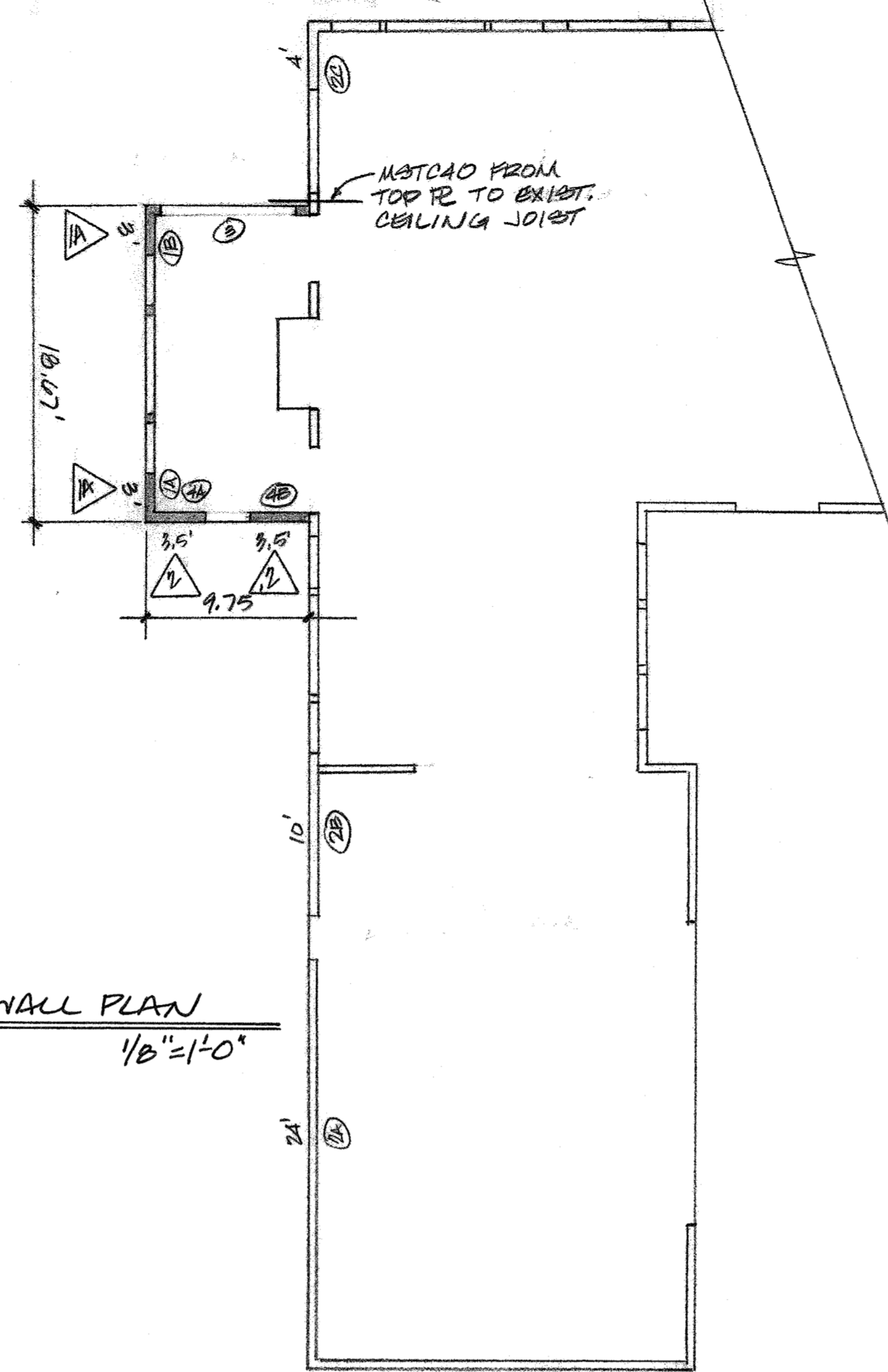
SHEET NO.

A7

SHEAR WALL SCHEDULE

MARK	SHEATHING (NOTE 5)	FASTENER SPACING (COMMON OR GALVANIZED BOX)	BOTTOM PLATE NAILING OR ANCHOR BOLTS	FRAMING ANCHORS (NOTES 7 & 8)	ALLOWABLE SHEAR	NOTES
1A	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 6" OC	16d @ 8" OC OR 1/2" A.B. @ 5'-6" OC	RBC @ 32" OC LTP4 @ 48" OC A35 @ 48" OC	130 PLF	1, 2, 3, 11
1	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 6" OC	16d @ 6" OC OR 1/2" A.B. @ 3'-2" OC OR 5/8" A.B. @ 5'-0" OC	RBC @ 18" OC LTP4 @ 30" OC A35 @ 30" OC	242 PLF	1, 2, 3, 11
2	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 4" OC	16d @ 4" OC OR 1/2" A.B. @ 2'-2" OC OR 5/8" A.B. @ 3'-4" OC	RBC @ 12" OC LTP4 @ 18" OC A35 @ 18" OC	353 PLF	1, 2, 3, 11
3	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 3" OC	1/2" X 5" LAG SCREW @ 8" OC OR 1/2" A.B. @ 1'-8" OC OR 5/8" A.B. @ 2'-8" OC	RBC @ 10" OC LTP4 @ 15" OC A35 @ 15" OC	456 PLF	1, 2, 3, 4, 9, 10, 11
4	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	10d @ 3" OC	1/2" X 5" LAG SCREW @ 6" OC OR 1/2" A.B. @ 1'-4" OC OR 5/8" A.B. @ 2'-0" OC	RBC @ 8" OC LTP4 @ 12" OC A35 @ 12" OC	558 PLF	1, 2, 3, 4, 9, 10, 11
5	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	10d @ 2" OC	1/2" X 5" LAG SCREW @ 5" OC OR 1/2" A.B. @ 1'-0" OC OR 5/8" A.B. @ 1'-8" OC	RBC @ 6" OC LTP4 @ 10" OC A35 @ 10" OC	716 PLF	1, 2, 3, 4, 9, 10, 11
6	19/32" MIN. APA RATED SHEATHING BOTH SIDES	10d @ 2" OC	1/2" X 5" LAG SCREW @ 2" OC OR 3/4" A.B. @ 1'-0" OC	LTP4 @ 6" OC A35 @ 6" OC	1618 PLF	1, 2, 3, 4, 6, 9, 10, 11

- ALL FASTENERS SHALL MEET THE FOLLOWING CRITERIA: 8d COMMON = 0.131" DIAMETER X 2 1/2", 10d COMMON = 0.148" DIAMETER X 3", 16d COMMON = 0.128" DIAMETER X 3", 16d COMMON = 0.162" X 3 3/4".
- PANEL EDGES SHALL BE BACKED WITH 2" NOMINAL OR WIDER FRAMING. SPACE FASTENERS @ 12" OC ON INTERMEDIATE SUPPORTS.
- PROVIDE ALL ANCHOR BOLTS WITH 3" X 3" X 1/2" PLATE WASHERS. LOCATE WITHIN 3/4" OF SHEATHING.
- AT GARAGE JAMBS, REFER TO LATERAL RESTRAINT PANEL DETAIL 401/S1.
- PROVIDE 7/16" APA RATED SHEATHING (PLYWOOD OR OSB) OR APA RATED SIDING 303 OR INNER SEAL OSB RATED PANEL SIDING ON ALL EXTERIOR WALLS DESIGNATED AS SHEAR WALLS.
- WHERE PANELS ARE APPLIED ON BOTH SIDES OF A WALL AND NAIL SPACING IS LESS THAN 6" OC ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3" NOMINAL OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.
- REFER TO TYPICAL SHEAR WALL DETAILS ON STRUCTURAL DETAIL SHEET FOR LOCATION OF FRAMING ANCHORS.
- AT UPPER FLOOR INTERIOR SHEAR WALLS, REFER TO DETAIL 303/S2 OR 304/S2.
- AT SHEAR WALL TYPES 3, 4, 5 AND 6, ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3X MEMBER. FOR EXAMPLE, PROVIDE A 3X STUD AT VERTICAL JOINTS IN THE SHEATHING.
- AT SHEAR WALL TYPES 3, 4, 5 AND 6, FOUNDATION SILL PLATES AND BOTTOM PLATES OF SHEAR WALLS, SHALL NOT BE LESS THAN A SINGLE 3X MEMBER. ALSO PROVIDE A 3X MINIMUM WIDTH MEMBER BELOW SHEAR WALL TO RECEIVE LAG SCREWS SUCH AS A 3X RIM JOIST, 3X JOIST OR BEAM OR BLOCKING BELOW SHEAR WALL.
- FASTENERS AT PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL, G185 HDG, BATCH/POST HOT-DIP GALVANIZED OR MECHANICALLY GALVANIZED.



SHEAR WALL PLAN
1/8" = 1'-0"

STRUCTURAL NOTES

CODES AND SPECIFICATIONS

- INTERNATIONAL BUILDING CODE, 2015 EDITION, ASCE 7-10
- INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION
- SIMPSON STRONG TIE WOOD CONSTRUCTION CONNECTORS 2015-2018
- FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE STAINLESS STEEL, ZMAX(G185HDG PER ASTM A663), BATCH/POST HOT-DIP GALVANIZED (PER ASTM B696, CLASS 55 OR GREATER), UNCOATED AND PAINTED PRODUCTS SHOULD NOT BE USED WITH TREATED WOOD. WHEN USING STAINLESS STEEL HOT-DIP GALVANIZED CONNECTORS, THE CONNECTORS AND FASTENERS SHOULD BE MADE OF THE SAME MATERIAL.

DESIGN CRITERIA

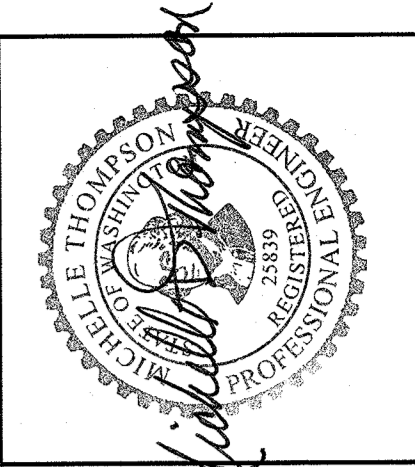
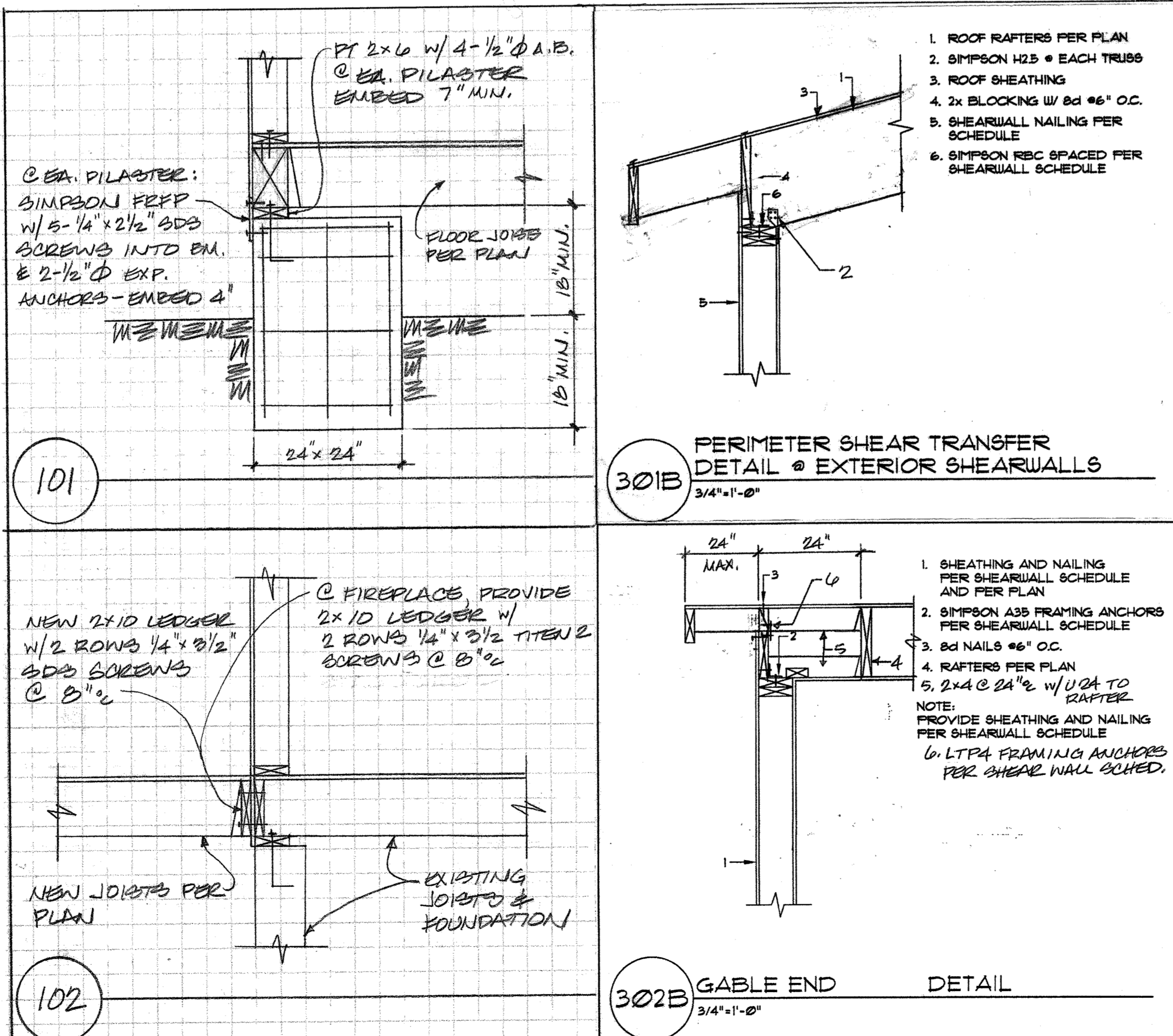
- WIND LOAD:** INTERNATIONAL BUILDING CODE, 2015, ASCE 7-10, ALTERNATE ALL-HEIGHTS METHOD, ULTIMATE DESIGN WIND SPEED = 110 MPH, NOMINAL DESIGN WIND SPEED = 85 MPH, EXPOSURE B
- SEISMIC:** INTERNATIONAL BUILDING CODE, 2015, ASCE 7-10
RISK CATEGORY II
SEISMIC IMPORTANCE FACTOR, $I_p = 1.0$
MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS, $S_a = 1.5, S_1 = 0.5$
SITE CLASS D
DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS, $S_{ds} = 1.0g, S_{d1} = 0.5g$
SEISMIC DESIGN CATEGORY D2
BASIC SEISMIC FORCE-RESISTING SYSTEM: LIGHT FRAME WALLS WITH WOOD SHEAR WALLS
DESIGN BASE SHEAR, $V = F(S_{ds})(W) / R = 0.1846 (W)$
RESPONSE MODIFICATION COEFFICIENT, $R = 6.5$
ANALYSIS PROCEDURE USED: SIMPLIFIED ALTERNATIVE STRUCTURAL DESIGN FOR SIMPLE BEARING WALL SYSTEMS
- ROOF LOAD:** DL = 15 PSF LL = 25 PSF (ROOF SNOW LOAD)
- FLOOR LOAD:** DL = 10 PSF LL = 40 PSF
- DECK LOAD:** DL = 10 PSF LL = 60 PSF
- SOILS:** ASSUMED 1500 PSF ALLOWABLE SOIL BEARING ASSUMED 35 PCF ACTIVE SOIL PRESSURE, 350 PCF PASSIVE PRESSURE, 0.35 COEFFICIENT OF FRICTION ALL FOOTINGS AND SLABS SHALL BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MODIFIED PROCTOR.
- CONCRETE:** 3000 PSI @ 28 DAYS (2500 PSI USED FOR DESIGN) GRADE 40 REINFORCEMENT MINIMUM 3" COVER FOR ALL REINFORCEMENT EXCEPT AS NOTED AT RETAINING WALLS OR OTHER DETAILS

TIMBER CONSTRUCTION NOTES

- LUMBER GRADES AND ALLOWABLE STRESSES SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE ON PLAN:
ALL SAWN LUMBER HF#2 OR BETTER,
Fb = 875 PSI, Fv = 76 PSI, E = 1,900,000
GLULAM BEAMS 24F-V4, Fb = 3400 PSI, Fv = 165 PSI, E = 1,900,000
MICROLAM, LVL Fb = 2600 PSI, Fv = 285 PSI, E = 1,900,000
PARALLAMS, PSL Fb = 2600 PSI, Fv = 290 PSI, E = 2,000,000
- WHEN TOP PLATE IS INTERRUPTED BY HEADER, HEADER SHALL HAVE STRAP CONNECTORS TO THE TOP PLATE EACH END, USE 2-SIMPSON MSTA24 CONNECTORS, UNLESS NOTED OTHERWISE.
- ALL SHEAR WALL SHEATHING NAILS AND ANCHORS SHALL BE AS DETAILED ON THE DRAWINGS AND AS NOTED IN THE SHEAR WALL SCHEDULE.
- FLOOR SHEATHING SHALL BE 1/2" MINIMUM APA RATED FLOOR SHEATHING WITH 10d COMMON @ 6" OC AT ALL SUPPORTED PANEL EDGES AND 10d @ 12" OC AT INTERMEDIATE SUPPORTS.
- ROOF SHEATHING SHALL BE 7/16" MINIMUM APA RATED ROOF SHEATHING WITH 8d COMMON @ 6" OC AT ALL SUPPORTED PANEL EDGES AND 8d @ 12" OC AT INTERMEDIATE SUPPORTS.

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. ANY VARIATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR THE ENGINEER.
- ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION SHALL BE PROVIDED. ANY PROPOSED FIELD CHANGES MUST HAVE THE APPROVAL OF THE ENGINEER PRIOR TO CONSTRUCTION.



MDT ENGINEERING
31403 44th AVE S
AUBURN, WA 98001
PHONE: (253) 709-3852
EMAIL: md.thompson@earthlink.net

REVISION DATES:

PROJECT: MAWER/WAR-WEIDEL
SCALE: N.T.S.
DATE: 7/21/20
DRAWN BY: MDT
SHEET NO.: S-1
PROJECT NO.: MAWER/WAR-WEIDEL
SHEET TITLE: STRUCTURAL NOTES